

DATED

9 November

2022

SUFFOLK COUNTY COUNCIL (1)

- and -

ROSE BUILDERS (PROPERTIES) LTD (2)

AGREEMENT

made pursuant to Sections 278 and 38 of the Highways Act 1980
and any other enabling power relating to
the development of land at south of Gatton House, Hadleigh Road, East Bergholt,
Suffolk

Nigel Inniss
Head of Legal Services
Suffolk County Council
Endeavour House
8 Russell Road
Ipswich
IP1 2DH

Ref: 69770/AP

THIS AGREEMENT is made the 9th day of November 2022
BETWEEN the following parties :-

- (1) SUFFOLK COUNTY COUNCIL of Endeavour House 8 Russell Road Ipswich
Suffolk IP1 2BX ("the County Council")
- (2) ROSE BUILDERS (PROPERTIES) LTD (company number 04555903) of
Riverside House Riverside Avenue East, Lawford, Manningtree, Essex, CO11
1US ("the Developer")

RECITALS AND DEFINITIONS

A. In this Agreement unless the context otherwise requires the following words shall have the following meanings :-

"1980 Act"	Means the Highways Act 1980 (as amended)
"Bond"	Means the bond with the Surety for the Highway Works, such bond to be in the form set out in Schedule 3 of this Agreement, so if the Developer should default in the execution of its obligations to carry out the Highway Works and to maintain the same in accordance with the provisions of this Agreement then the County Council will call upon the Surety to provide the full value of the Bond to carry out and maintain the Highway Works
"Cash Deposit"	Means the cash deposit for all of the Highway Works such cash deposit to be held by the County Council should the Developer default in the execution of its obligations to carry out the Highway Works and to maintain the same in accordance with the provisions of this Agreement then the County Council will call upon the Cash Deposit to provide the full sums necessary to carry out and maintain the Highway Works
"Cash Deposit Figure"	Means sum of £ 21,258.60 (Twenty One Thousand, Two Hundred and Fifty Eight Pounds and Sixty Pence) being the cost of the Highway Works plus 10 per cent

"Certificate of Final Completion"	Means any of the certificates referred to in paragraph 2.13 of this Agreement
"CDM Regulations"	Means the Construction (Design and Management) Regulations 2015 (SI 2015/51)
"Commutated Sums"	Means the sum of £ 550 (Five Hundred and Fifty Pounds) which is calculated towards the cost of the County Council's future maintenance liability of the Highway Works.
"Director"	Means the County Council's Executive Director of Growth, Highways and Infrastructure or other officers of the County Council acting under his hand
"Highway Works"	Means the works detailed on the Works Drawings and as set out in Schedule 2 of this Agreement
"Plan"	Means the plan annexed hereto entitled "Site Location Plan"
"Site"	Means land situated at south of Gatton House, Hadleigh Road, East Bergholt, Suffolk shown edged red for identification only on the attached Plan
"Substantial Completion"	Means complete to the reasonable satisfaction of the Director and so that the Highway Works can be used for the purpose and operate in the manner for which they were designed, and the "Date of Substantial Completion" and "Certificate of Substantial Completion" shall be construed accordingly
"Works Drawings"	Means the attached drawings bearing the numbers referred to in Schedule 1 or any subsequent revision of them which has been approved or requested by the Director and which relate to the Highway Works

- (A) The County Council is the Local Highway Authority (except for trunk roads) for the purposes of the 1980 Act for the area within which the Site is situated and the Highway Works will be carried out

- (B) The Developer is the registered proprietor with title absolute of the Site registered at the Land Registry under Title Number SK123288
- (C) The County Council considers that the Highways Works as shown on the Works Drawings and detailed in Schedule 2 need to be carried out and the County Council considers that entering into this Agreement will be of benefit to the public

NOW THIS DEED WITNESSES as follows :-

1. LEGAL EFFECT

1.1 In this Agreement unless the context otherwise requires :-

1.1.1 Words importing the singular meaning where the context so admits include the plural meaning and vice versa; and

1.1.2 Words of the masculine gender include the feminine and neuter genders and words denoting actual persons include companies, corporations and firms and all such words shall be construed interchangeably in that manner; and

1.1.3 "party" or "parties" means a party or parties to this Agreement; and

1.1.4 references to any party shall include the successors in title and assigns of that party; and in the case of the County Council the successors to its statutory functions;

1.1.5 where a party includes more than one person any obligations of that party can be enforced against all of them jointly and severally unless there is an express provision otherwise; and

1.1.6 the headings and contents list in this Agreement shall not form part of or affect its construction; and

1.1.7 references to clauses schedules and paragraphs are references to clauses in and schedules to this Agreement and paragraphs in schedules to this Agreement; and

1.1.8 where a party or any officer or employee is required to give its consent approval or agreement to any specific provision in this Agreement such approval or agreement shall not be unreasonably withheld or delayed; and

1.1.9 any mention herein of any act or of any section regulation or statutory instrument shall be deemed to refer to the same source as at any time

amended and where such act section regulation or statutory instrument has been replaced consolidated or re-enacted with or without amendment such mention shall be deemed to refer to the relevant provision of the updating consolidating or re-enacting act or section or regulation or statutory instrument

- 1.2 This Agreement and the covenants that appear hereinafter are made pursuant to Sections 38 72 and 278 of the 1980 Act Section 111 of the Local Government Act 1972, Section 1 of the Localism Act 2011 and all other enabling powers to the intent that the provisions of this Agreement shall bind the Site and the parties hereto and all persons deriving title through or under them
- 1.3 No waiver (whether express or implied) by the County Council of any breach or default by the Developer in performance or observance of any of the covenants or obligations in this Agreement shall constitute a continuing waiver and no such waiver shall prevent the County Council from enforcing any of the covenants or from acting upon any subsequent breach or default
- 1.4 Any provision of this Agreement which is or may be unlawful void or unenforceable shall to the extent of such unlawfulness invalidity or unenforceability be deemed severable and shall not affect any other provision of this Agreement
- 1.5 This Agreement shall be governed and interpreted in accordance with the laws of England and shall be determined in the Courts of England and Wales
- 1.6 The Developer covenant and warrant to the County Council that they have full power to enter into this Agreement and there is no other person having a charge over or any other interest in the Site whose consent is necessary for the Developer to enter into this Agreement and to comply with the obligations set out at clauses 1.12 and 1.13
- 1.7 The Developer covenants and undertakes with the County Council that from the date of this Agreement it will (unless otherwise agreed by the County Council) carry out and comply with the obligations set out in this Agreement
- 1.8 The County Council, without prejudice to its statutory powers and duties, hereby appoints the Developer to act as its agent and gives to the Developer licence (in so far as is reasonably necessary) to enter into and upon and remain upon the public highway to carry out the construction of the Highway Works within the timescales referred to in Schedule 2 or such other period as may be agreed in

writing by the Director, provided that this licence shall not extend to the Developer's successors in title or assigns unless otherwise agreed in writing by the Director prior to that successor or assignee commencing work in the public highway

- 1.9 The Developer covenants with the County Council as Highway Authority to comply with the provisions of the New Roads and Street Works Act 1991 and the Traffic Management Act 2004, and any amendments thereof
- 1.10 It is hereby agreed and declared that the provisions of the Contracts (Rights of Third Parties) Act 1999 shall not apply to this Agreement
- 1.11 The Developer shall be the only client for the purpose of the CDM Regulations and the Developer agrees to undertake the obligations of a client under the CDM Regulations and to use all reasonable endeavours to ensure that the Highway Works are carried out in accordance with the CDM Regulations. The Developer shall indemnify and keep the County Council indemnified against any breach of the Developer's obligations under this clause
- 1.12 The Developer hereby agrees that on the date of Substantial Completion that part of the Site upon which the Highways Works are constructed which does not currently form part of the public highway shall be dedicated as highway under section 38 of the 1980 Act and the County Council agrees to accept such dedication and adopt that part of the Site and the Highway Works as highway maintainable at the public expense
- 1.13 If called upon by the County Council so to do by notice in writing served within twenty-one years of the date of this Agreement the Developer agrees to transfer to the County Council in consideration of one pound any land over which any part of the Highway Works have been constructed which does not at the date of this Agreement already form part of the highway together with any other land dedicated as public highway by the Developer free in each case from encumbrances and together with all rights necessary to permit the use, inspection, maintenance, repair and replacement of the Highway Works and all utility systems servicing the Highway Works and not vested in the relevant undertaker as are situated outside the limits of the Highway Works and the said other land
- 1.14 This Agreement is a Deed. Any financial default will be declared by the County Council and registered as a Local Land Charge under section 278(5)(c) of the 1980 Act

- 1.15 If the Highway Works have not been commenced within one (1) year from the date of this Agreement, save as this period is otherwise extended in writing by the Director at his discretion, then this Agreement shall lapse and be of no further effect (save to the extent already complied with) and the Developer agrees to pay to the County Council any costs properly incurred by the County Council prior to the lapse of this Agreement (which have not already been paid) including but not limited to those costs set out in clause 3.5 of this Agreement
- 1.16 Where, in accordance with clause 1.15 above the Director, at his discretion, agrees in writing to an extension to the period of one (1) year after which this Agreement shall lapse, this Agreement shall lapse at the end of such period as agreed in writing by the Director
- 1.17 Where the Agreement has lapsed in accordance with clauses 1.15 or 1.16, the County Council may release to the Developer the Cash Deposit and interest applied at the Bank of England Base Rate minus 2 basis points, compounding annually at financial year end. on receipt of a written request. If for any period, the Bank of England Base Rate is at or below 0.02% then no interest shall be payable for that period by any party to this agreement. For the avoidance of doubt nothing in this clause requires the County Council to repay those sums payable under clause 3.5 of this Agreement save for any Commuted Sums not spent or committed

2 HIGHWAY WORKS

- 2.1 All works and activities to be carried out under the terms of this Agreement (including for the avoidance of doubt such works as are of a preparatory ancillary or of a maintenance nature) are (save where expressly provided otherwise) to be at the sole expense of the Developer and at no cost to the County Council
- 2.2 No work on the Highway Works shall commence and no contract or contracts in respect of the construction of the Highway Works shall be let until full details of the Highway Works have been submitted to the Director and the Director has given his written approval to the Highway Works and for the avoidance of doubt this Agreement does not constitute the written approval required under this clause
- 2.3 The Developer shall provide all relevant notices to the County Council under the New Roads and Street Works Act 1991 and Traffic Management Act 2004, and any amendments thereof

- 2.4 Insofar as the County Council as Highway Authority is required by any legislation regulation direction or code of practice (including in particular but without prejudice to the generality of the foregoing the New Roads and Street Works Act 1991) to serve a notice or notices in respect of the Highway Works on undertakers or other persons the Developer shall comply with such requirement on behalf of the County Council before the Highway Works commence and shall thereafter assume on behalf of the County Council such responsibilities as follow on therefrom in particular during the construction of the Highway Works
- 2.5 The Developer shall give due consideration to adjoining owners and occupiers at all times and shall organise activities relating to the Highway Works in such a manner as to cause the least practicable disruption
- 2.6 The Developer shall display and maintain prominent notices around the perimeter of the Site to warn the public of the dangers of entering the Site. However the display of such notices shall not relieve the Developer of any of his obligations and liabilities under this Agreement, the Control of Pollution Act 1974 or the Environment Protection Act 1990, or any amendments thereof
- 2.7 The Developer shall take or procure the taking of all necessary steps to avoid creating a nuisance from noise and from dust and as far as practicable the Highway Works are to be carried out in such a way that noise and dust are kept to a minimum
- 2.8 When the Highway Works are being executed the Developer shall institute at his own expense measures previously approved in writing by the Director to maintain the safe flow of traffic on the highways in the vicinity of the Site
- 2.9 No Highway Works within or affecting existing public highways will be permitted within the morning and evening peak periods i.e. 7.30 - 9.30 a.m. and 4.30 - 6.30 p.m. Monday to Friday except as agreed in writing by the Director
- 2.10 When the Highway Works are being carried out the Developer shall provide all watching and lighting as required and shall maintain all lights, guards, fencing and warning signs when and where necessary and undertake such further measures as may be reasonably required by the Director
- 2.11 Representatives of the County Council may enter upon the land on which the Highway Works are being carried out at any reasonable time to ascertain whether the terms of the Agreement are being or have been complied with
- 2.12 On Substantial Completion of the Highway Works :-

- 2.12.1 the Developer shall clear away and remove from the Site all constructional plant and temporary works of every kind and leave the Site in a safe, neat and tidy condition to the satisfaction of the Director
 - 2.12.2 the Developer shall provide the County Council with 6 paper copies of the 'as constructed' drawings and a pdf thereof
 - 2.12.3 the Director may issue a Certificate of Substantial Completion to the Developer
- 2.13 The Developer shall maintain the Highway Works for a period of eighteen (18) months (unless the Director agrees in writing a lesser period) from the issue of the related Certificate of Substantial Completion and prior to the expiration of this period the Developer shall reinstate and make good any damage or defect which may have arisen from any cause whatsoever or be discovered during the said period of eighteen (18) months (including any defect in or damage to the surface water drainage system) so as to place the highway and the Highway Works in a condition satisfactory to the Director. After the expiration of the period of eighteen (18) months and after any defects have been made good to the satisfaction of the Director he may issue at the written request of the Developer the Certificate of Final Completion in respect of the Highways Works

3 FINANCE

- 3.1 Where the Developer has provided a Bond Cash Deposit, then after the issue of the Certificate of Substantial Completion the County Council may approve the release of up to 75% of the Cash Deposit Figure and upon the issue of the Certificate of Final Completion the County Council may release to the Developer the remainder of the Cash Deposit and interest applied at the Bank of England Base Rate minus 2 basis points, compounding annually at financial year end on receipt of a written request. If for any period, the Bank of England Base Rate is at or below 0.02% then no interest shall be payable for that period by any party to this agreement.
- 3.2 The Developer shall be insured from the date of this Agreement and throughout the period of construction of the Highway Works within the timescales referred to in Schedule 2 (or any other period as agreed by the Director) for public liability risks in the sum of at least ten million pounds (£10,000,000.00) in respect of any single claim, and shall produce these insurance policies to the Director on demand

Executed as a deed on behalf of)
ROSE BUILDERS (PROPERTIES))
LIMITED by its authorised signatories:-)

Director



[Print Name]

SAMUEL BROWN

Company Secretary/director



[Print Name]

ANDREW MARTIN BOWLER

Schedule 1
Works Drawings

Drawing Title	Drawing No
S278 Highway Works General Arrangement	211568 C-080P6
S278 Details Sheet 1	211568 C-081P4
Adoptable Drainage Details Sheet 1	211568 C-071P3
Site Location Plan	1814.01
S104 Sewer Adoption GA	211568 C-070P6
Long Section	211568 C-072P1
Contours Plan	211568 C-082P1
External Works GA	211568 C-001C6

Schedule 2

Location	Description of Works
Hadleigh Road	Construction of New Bell mouth and footway link to existing pedestrian crossing point.

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION BOX
THIS DRAWING IS FOR PRELIMINARY PURPOSES ONLY AND MUST NOT BE READ AS A CONSTRUCTION ISSUE. IT INDICATES DESIGN INTENT ONLY AND IS SUBJECT TO AMENDMENT DURING FINAL DESIGN DEVELOPMENT.

CONSTRUCTION RISKS:

- BURIED SERVICES
- DEEP EXCAVATIONS
- WORK IN CONFINED SPACES
- MAINTENANCE/DEMOLITION/USE RISKS:
- NO SIGNIFICANT RISKS.

DEMOLITION RISKS:

- NO SIGNIFICANT RISKS.

NOTE:

1. DO NOT SCALE. IF IN DOUBT, ASK.
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL ENGINEERS DRAWINGS AND DETAILS, THE SPECIFICATION AND ANY OTHER RELEVANT ARCHITECT'S DRAWINGS AND ANY OTHER SPECIALISTS DRAWINGS.
3. ANY DISCREPANCIES FOUND ON THIS OR ANY OTHER DRAWINGS ARE TO BE REPORTED TO AND RESOLVED BY THE DESIGN TEAM PRIOR TO THE COMMENCEMENT OF ANY WORK RELEVANT TO THE DISCREPANCY.
4. THE PRINCIPAL CONTRACTOR IS TO PROVIDE FULLY DESIGNED PROPPING/SUPPORTING TO FACILITATE THE WORKS. ALL PROPPING & BRACING IS TO BE ADEQUATELY FOUNDED TO ENSURE THE STABILITY/INTEGRITY OF EXISTING STRUCTURES. THE PRINCIPAL CONTRACTOR IS TO MAINTAIN ALL EXISTING STRUCTURES AND SERVICES UNLESS INDICATED ON THE DRAWINGS. THE TEMPORARY WORKS ARE NOT TO IMPOSE REACTIONS ON THE PERMANENT STRUCTURE WITHOUT PRIOR WRITTEN CONSENT FROM ROSSI LONG CONSULTING.
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NOTE: ALL WORKS WILL BE UNDERTAKEN IN ACCORDANCE WITH DGS.

Handwritten signatures and initials:
JG-20
[Signature]
[Signature]

PRELIMINARY DRAWING:
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REV	DESCRIPTION	DATE	BY	AUTH
P06	REVISED LEVELS	20/08/22	OP	GNG
P05	UPDATED FOR SCC COMMENTS	14/06/22	OP	GNG
P04	SCALE NOTE CORRECTED	30/03/22	GNG	NL
P03	GENERAL UPDATES	28/02/22	GNG	NL
P02	GENERAL UPDATES	23/02/22	GNG	NL
P01	PRELIMINARY ISSUE	-	-	-

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T: 01603 706 420 www.rossilong.co.uk

ROSE BUILDERS LIMITED

PROJECT
GATTON HOUSE,
HADLEIGH ROAD,
EAST BERGHOLT

TITLE
S278 HIGHWAY WORKS
GENERAL ARRANGEMENT

DRAWN	DS	AUTHORISED	GNG	DATE	FEB 22	SCALE AT	REFER TO DRAWING
SUBMITTAL	S2 - INFORMATION						
PROJECT NO.	211568	DRAWING FIELD		DRAWING NO.	C-080	REV	P06

LEGEND

- ASPHALT SURFACING
- EXTENT OF BELMOUTH JUNCTION
- EXTENT OF S278 WORKS
- ROOT PROTECTION MEMBRANE

ONLY INDICATIVE

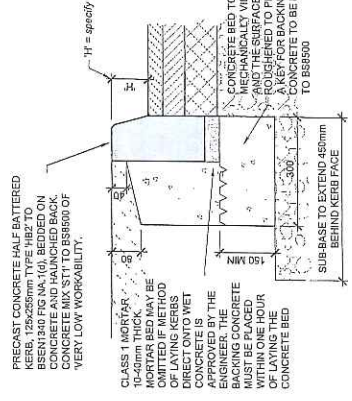


S278 GENERAL ARRANGEMENT
1:100

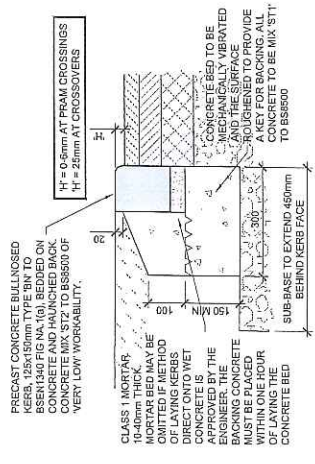
VISIBILITY SPLAY
1:200

ROAD CONSTRUCTION SPECIFICATION		
LAYER	SPECIFICATION	COMPACTED THICKNESS (mm)
CARRIAGEWAY AND OVERRUN MARGIN	1 HRA 35/14 F SURF 40/60 HOT ROLLED ASPHALT SURFACE COURSE TO PD669:2015, TABLE C2A COL 8, TYPE F DESIGN MIX CONTAINING 3% COARSE AGGREGATE OF CRUSHED ROCK WITH A MAXIMUM AGGREGATE SIZE OF 14mm, A TYPE F GRADE BITUMEN BINDER, SURFACE TO HAVE PRE-COATED CHIPPIKES OF 20mm NOM SIZE, WITH A MIN PSY OF 45, ROLLED IN TO GIVE TEXTURE DEPTH OF 1.2mm (MEASURED BY SAND PATCH METHOD). SUB-BASE TO BE USED TO GIVE A CHIPPING FREE CHANNEL WIDTH OF 200mm.	50
	2 HRA 50/14 BIN 40/60 HOT ROLLED ASPHALT BINDER COURSE TO PD669:2015, TABLE C1, MIX B1, MAXIMUM AGGREGATE SIZE OF 14mm AND A 40/60 PENETRATION GRADE BITUMEN BINDER.	80
	3 HRA 60/32 BASE 40/60 HOT ROLLED ASPHALT TO PD669:2015, TABLE C1, MIX CONTAINING 60% AGGREGATE WITH A MAXIMUM AGGREGATE SIZE OF 32mm AND A 40/60 PENETRATION GRADE BITUMEN BINDER.	100 NB: THICKENED TO 120 IF ROAD TO BE USED BY CONSTRUCTION TRAFFIC
	4 GRANULAR SUB-BASE TYPE 1 TO CLAUSE 803 ⁽¹⁾ CERTIFIED AS NON-FROST SUSCEPTIBLE, SPREAD EVENLY ON THE FORMATION IN LAYERS NOT EXCEEDING 150mm, COMPACTED TO CLAUSE B22 ⁽¹⁾ TO ACHIEVE A MINIMUM CBR VALUE OF 20%. ON SUBGRADES OF POORLY GRADED SAND OR WITH CIR-45% A GEOTEXTILE SEPARATOR OR SHALL BE SPREAD IN LAYERS OF 150mm, COMPACTED TO CLAUSE B22 ⁽¹⁾ TO ACHIEVE A MINIMUM CBR VALUE OF 20%. ON SUBGRADES OF POORLY GRADED SAND OR WITH CIR-45% A GEOTEXTILE SEPARATOR OR SHALL BE SPREAD IN LAYERS OF 150mm, COMPACTED TO CLAUSE B22 ⁽¹⁾ TO ACHIEVE A MINIMUM CBR VALUE OF 20%.	CBR 200/20 2% 3% 4% 5%+
FOOTPATH	5 AC 6 DENSE SURF 70/100 DENSE ASPHALT CONCRETE TO PD669:2015, TABLE B16, CONTAINING A MAXIMUM AGGREGATE SIZE OF 6mm AND A 70/100 PENETRATION GRADE BITUMEN BINDER.	20
	6 AC 20 DENSE BIN 160/220 DENSE ASPHALT CONCRETE BINDER COURSE TO PD669:2015, TABLE B17, MAXIMUM AGGREGATE SIZE OF 20mm AND A 160/220 PENETRATION GRADE BITUMEN BINDER.	50 60mm AT VEHICULAR CROSSOVERS
	7 GRANULAR SUB-BASE TYPE 1 TO CLAUSES 803 ⁽¹⁾ AND 9.3 ⁽¹⁾ CERTIFIED AS NON-FROST SUSCEPTIBLE, SPREAD EVENLY ON THE FORMATION THAT HAS BEEN SHAPED AND PREPARED TO CLAUSE 10.4.2 ⁽¹⁾ AND 10.4.3 ⁽¹⁾ TO ACHIEVE A MINIMUM CBR VALUE OF 20%. ON SUBGRADES OF POORLY GRADED SAND OR WITH CIR-45% A GEOTEXTILE SEPARATOR OR SHALL BE SPREAD IN LAYERS OF 150mm, COMPACTED TO CLAUSE B22 ⁽¹⁾ TO ACHIEVE A MINIMUM CBR VALUE OF 20%. ON SUBGRADES OF POORLY GRADED SAND OR WITH CIR-45% A GEOTEXTILE SEPARATOR OR SHALL BE SPREAD IN LAYERS OF 150mm, COMPACTED TO CLAUSE B22 ⁽¹⁾ TO ACHIEVE A MINIMUM CBR VALUE OF 20%.	100 THICKENED TO 225mm AT VEHICULAR CROSSOVERS
VERGE	8 GRADED AREAS SHALL BE GRADED TO THE APPROVED LEVEL, SPREAD WITH A DEPTH OF VEGETABLE SOIL AND EITHER TURRED OR ROLLED TO A FINISH TO CLAUSE 10.4.2 ⁽¹⁾ AND 10.4.3 ⁽¹⁾ TO ACHIEVE A MINIMUM CBR VALUE OF 20%. ON SUBGRADES OF POORLY GRADED SAND OR WITH CIR-45% A GEOTEXTILE SEPARATOR OR SHALL BE SPREAD IN LAYERS OF 150mm, COMPACTED TO CLAUSE B22 ⁽¹⁾ TO ACHIEVE A MINIMUM CBR VALUE OF 20%.	100-150
GENERAL FILL	CLASS 1 GRANULAR FILL MATERIAL TO TABLE 61 ⁽¹⁾ AND CLAUSE 813 ⁽¹⁾ COMPACTED IN LAYERS IN ACCORDANCE WITH TABLE 64 ⁽¹⁾ .	AS REQUIRED

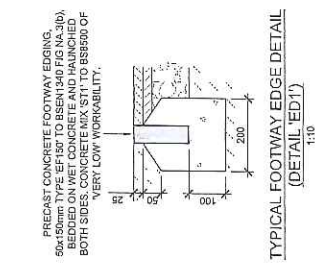
- NOTES:
- SPECIFICATION FOR HIGHWAY WORKS PUBLISHED BY THE DEPARTMENT FOR TRANSPORT.
 - SUFFOLK COUNTY COUNCIL SPECIFICATION FOR ESTATE ROADS (MAY 2007).
 - CONSTRUCTION THICKNESS FOR PROVEN ALTERNATIVE SUB-GRADE CBR VALUES.
 - SUB-BASE TO BE THICKENED OR CAPPING LAYER TO BE USED TO GIVE A TOTAL CONSTRUCTION DEPTH OF CARRIAGEWAY OF 450mm WHERE SUB-GRADE IS FROST SUSCEPTIBLE.
 - REPLACES THE FORMER BS GRADES OF 50, 100 AND 200 PEN.
 - REPLACES THE FORMER BS GRADES OF 50, 100 AND 200 PEN.
 - GEOTEXTILE SEPARATOR TO BE USED BENEATH THE SUB-BASE WHERE CIR-45% MATERIAL CONFORMING TO CLAUSE 814⁽¹⁾.
 - REMAINING DEPTH IS PERMITTED TO BE TYPE 2.



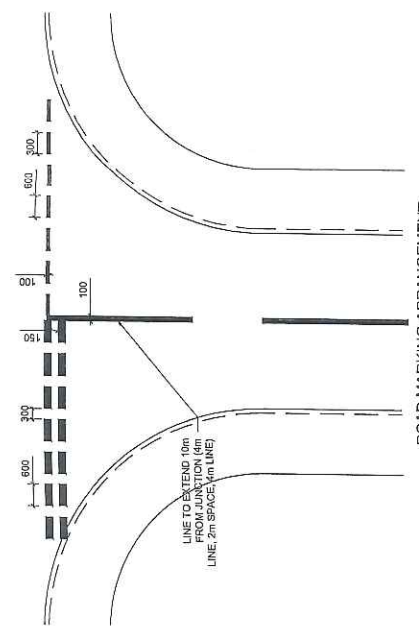
TYPICAL FULL FACE KERB DETAIL
(DETAIL 'K01') - REF B1X
1:10



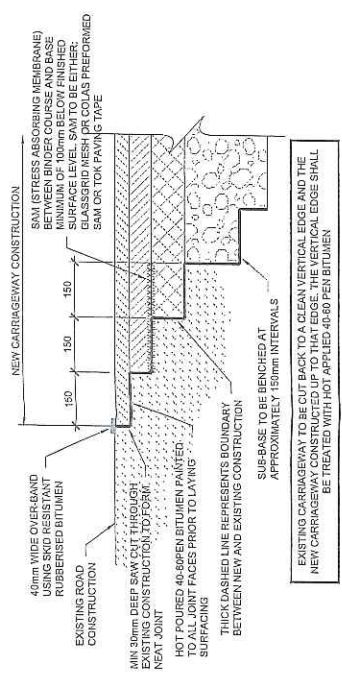
TYPICAL BULLNOSE KERB DETAIL
(DETAIL 'K02') - REF B1X
1:10



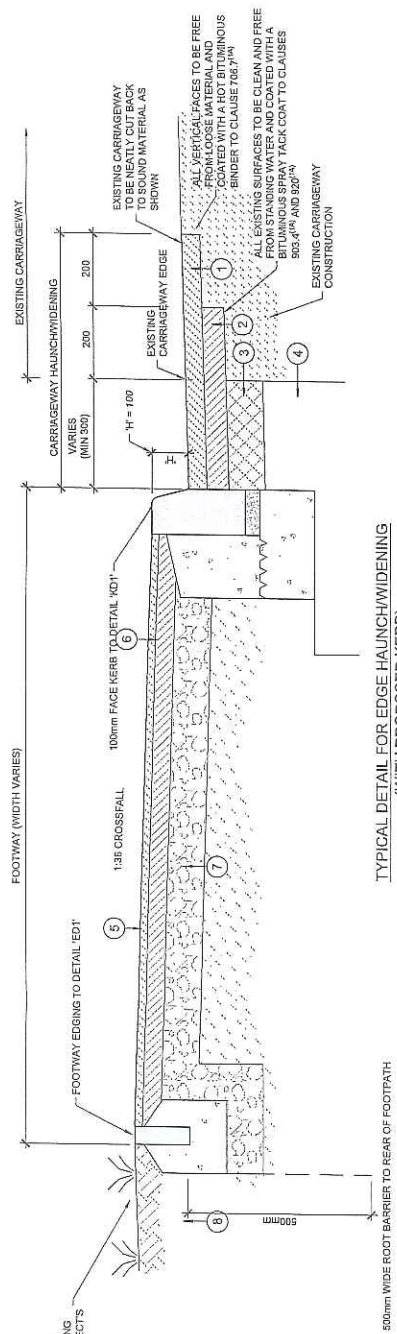
TYPICAL FOOTWAY EDGE DETAIL
(DETAIL 'ED1')
1:10



ROAD MARKING ARRANGEMENT
1:10
WHITE MARKINGS TO BE IN ACCORDANCE WITH BS EN 1871
WHITE PAVEMENT MARKINGS SHALL BE TO THE
DEFAULT SIZES SPECIFIED IN THE 1871



STEPPED CONSTRUCTION DETAIL FOR JOINING
WITH EXISTING HIGHWAY
1:10



TYPICAL DETAIL FOR EDGE HAUNCH/WIDENING
(WITH PROPOSED KERB)
1:10

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION BOX
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- BURIED SERVICES
 - DEEP EXCAVATIONS
 - WORK IN CONFINED SPACES
- MAINTENANCE/ELEVATION/LIFE RISKS:
- NO SIGNIFICANT RISKS.
- DEMOLITION RISKS:
- NO SIGNIFICANT RISKS.

NOTE:

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- ANY DISCREPANCIES FOUND ON THIS OR ANY OTHER DRAWINGS ARE TO BE REPORTED TO AND RESOLVED BY ROSSI LONG CONSULTING BEFORE THE COMMENCEMENT OF ANY WORK RELEVANT TO THE DISCREPANCY.
- THE PRINCIPAL CONTRACTOR IS TO PROVIDE FULLY DESIGNED PROPPING/SHORING TO FACILITATE THE WORKS. ALL PROPPING & BRACING IS TO BE DESIGNED AND PROVIDED BY THE PRINCIPAL CONTRACTOR. THE EXISTING PROPOSED STRUCTURES AND EARTHWORKS IS TO BE MAINTAINED, UNLESS INDICATED ON THE DRAWINGS, THE TEMPORARY WORKS ARE TO BE DESIGNED AND PROVIDED BY THE PRINCIPAL CONTRACTOR WITHOUT PRIOR WRITTEN CONSENT FROM ROSSI LONG CONSULTING.
- THIS DOCUMENT HAS BEEN PREPARED IN ACCORDANCE WITH THE SCOPE OF WORK PROVIDED AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. IT IS SUBJECT TO THE TERMS OF THAT APPROPRIATE, ROSSI LONG CONSULTING ACCEPTS NO LIABILITY FOR ANY USE OF THIS DOCUMENT OTHER THAN BY THE PRINCIPAL CONTRACTOR. THE PRINCIPAL CONTRACTOR IS TO BE PROVIDED WITH WRITTEN DIMENSIONS SHALL BE USED.

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AMENDMENT DURING FINAL DESIGN DEVELOPMENT.

P04	UPDATED DETAIL	26.07.22	OP	GNG
P03	UPDATED FOR SCC COMMENTS	14.06.22	OP	GNG
P02	GENERAL UPDATES	23.02.22	GNG	ML
P01	PRELIMINARY ISSUE	-	-	-

REV DESCRIPTION DATE BY AUTH

Rossi Long
Consulting

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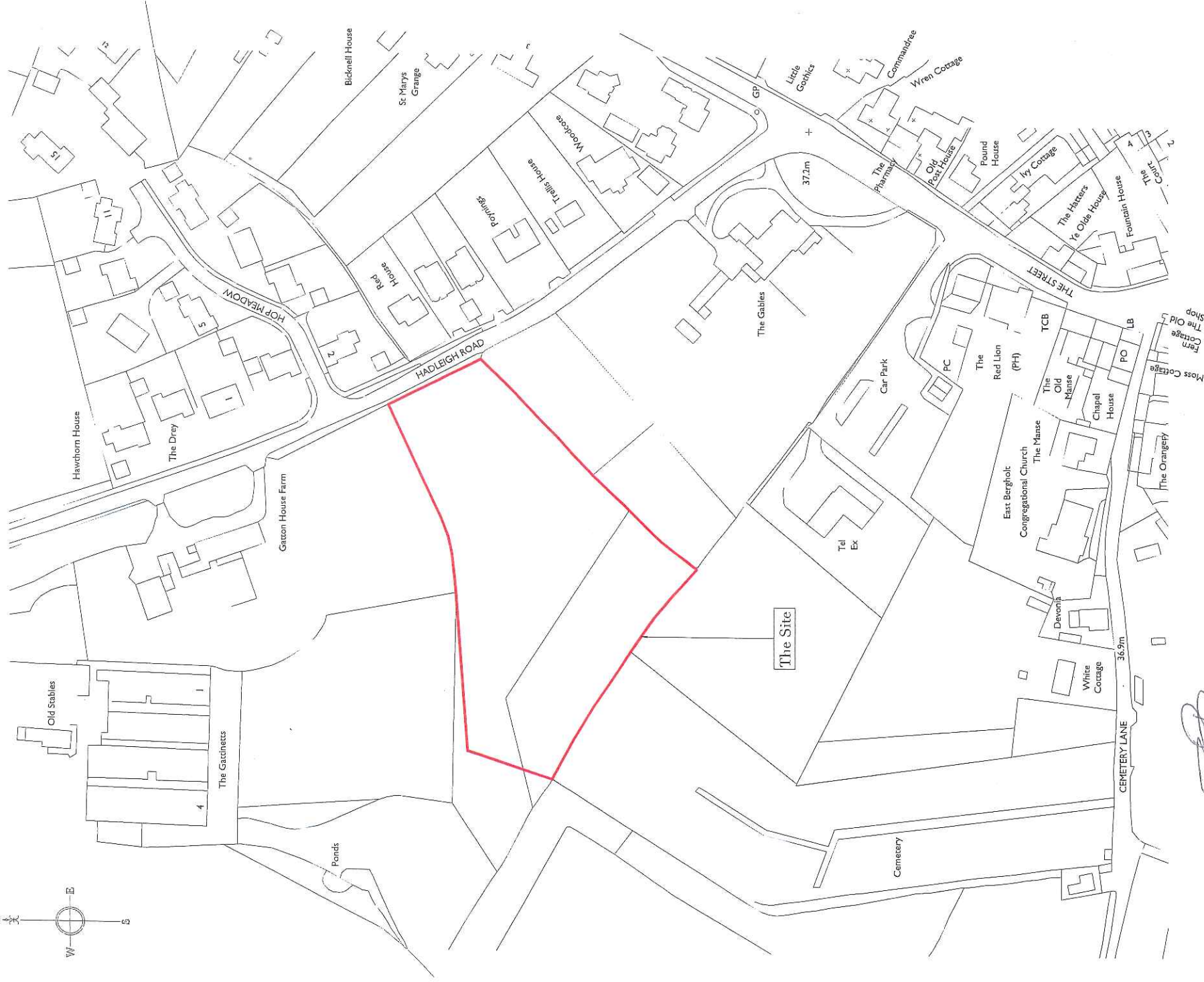
CLIENT

ROSE BUILDERS LIMITED

PROJECT
GATTON HOUSE,
HADLEIGH ROAD,
EAST BERGHOLT

TITLE
S278 DETAILS
SHEET 1

DRAWN	AUTODESKED	DATE	SCALE	BY
GNG	GNG	MAR 22	REFER TO DRAWING	
S2 - INFORMATION				
PROJECT NO.	DRAWING FILE	DRAWING NO.	REV	P04
211568		C-081		



2006

Telephone 01206 249477

Drawing

Site Location Plan

Drawing no. 1814.01

0	20	40	60	80	100	Metres
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Contractors must verify all dimensions and information on site prior to commencement of work. Do not scale from drawings.



CONSTRUCTION RISKS:

- BURIED SERVICES
- DEEP EXCAVATIONS
- WORK ON HIGHWAY
- WORK IN CONFINED SPACES

MAINTENANCE/CI EARNING/CI ICE PICKO

CHANG & CHANG

DEMOLITION RISKS:

NO SIGNIFICANT RISKS

NOTE:

0
1
2
3
4
5
6
7
8
9

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL ENGINEER'S DRAWINGS AND DETAILS. THE SPECIFICATION FOR THE WORKS, THE RELEVANT ARCHITECT'S DRAWINGS AND ANY OTHER SPECIALIST'S DRAWINGS.

ANY DISCREPANCIES FOUND ON THIS OR ANY OTHER DRAWINGS ARE TO BE REPORTED TO AND RESOLVED BY ROSSILONG CONSULTING BEFORE THE COMMENCEMENT OF ANY WORK RELEVANT TO THE DISCREPANCY

THE PRINCIPAL CONTRACTOR IS TO PROVIDE FULLY DESIGNED PROPPING/SUPPORT TO FACILITATE THE WORKS. ALL PROPPING & BRACING IS TO BE ADEQUATELY FOUNDED TO ENSURE THE STABILITY/INTEGRITY OF THE EXISTING PROPOSED STRUCTURES & OR EARTHWORKS IS MAINTAINED, UNLESS INDICATED ON THE DRAWINGS. THE TEMPORARY WORKS ARE NOT TO IMPOSE REACTIONS ON THE PERMANENT STRUCTURE.

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NOTE: ALL WORKS WILL BE UNDERTAKEN IN ACCORDANCE WITH JCG

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P106	REVISED LEVELS	2009/22	OP	GNG
P05	UPDATED TO COMMENTS	08/09/22	OP	GNG
P04	SCALE NOTE CORRECTED	30/3/22	GNG	ML
P03	GENERAL UPDATES	28/3/22	GNG	ML
P02	GENERAL UPDATES	23/3/22	GNG	ML
P01	PRELIMINARY ISSUE	-	-	-

NOT RECORDED



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ROSE BUILDERS LIMITED

POVERTY

GATTON HOUSE,
HADLEIGH ROAD,
EAST BERGHOLT

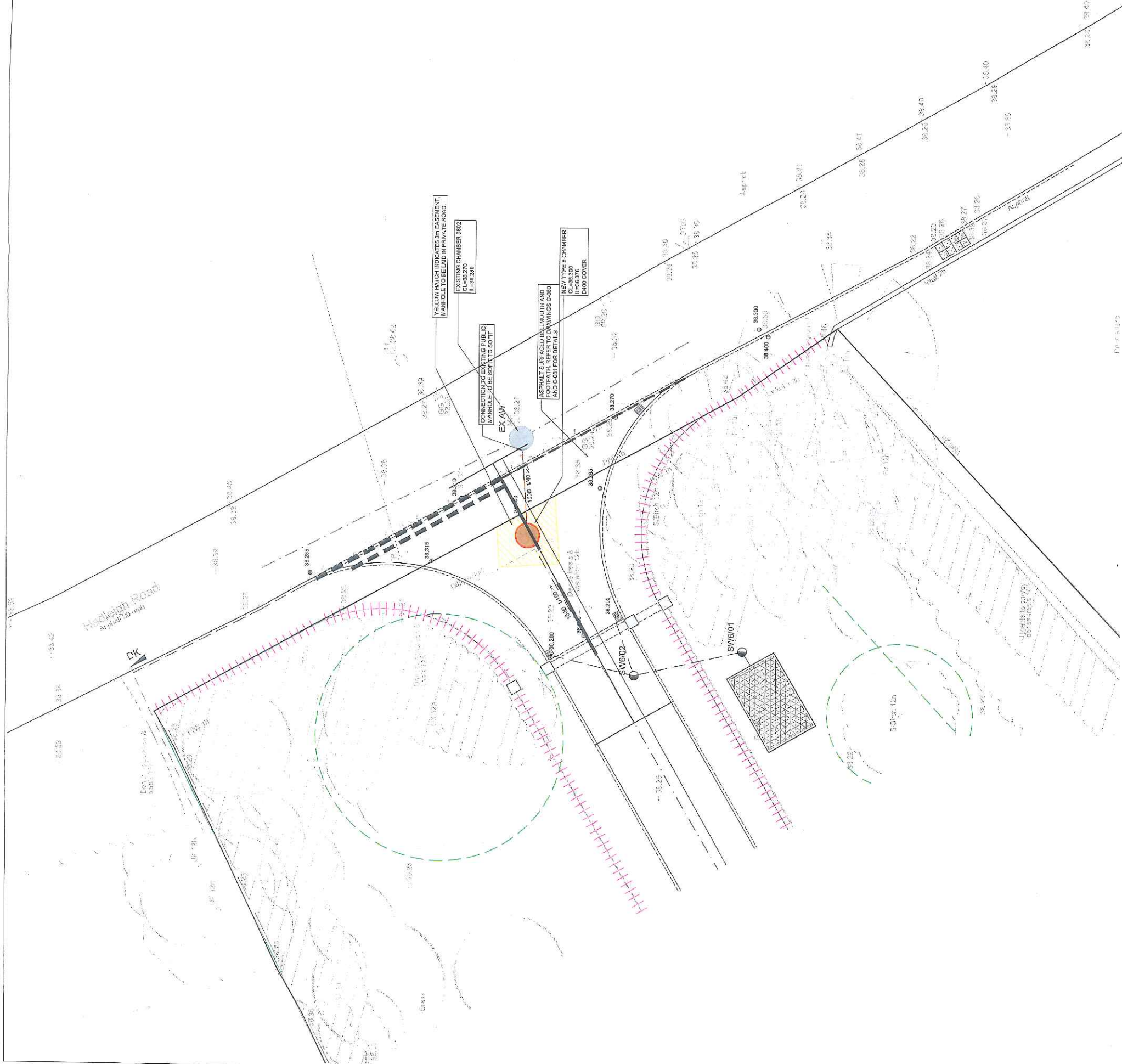
CS104 SEWER ADOPTION GENERAL ARRANGEMENT

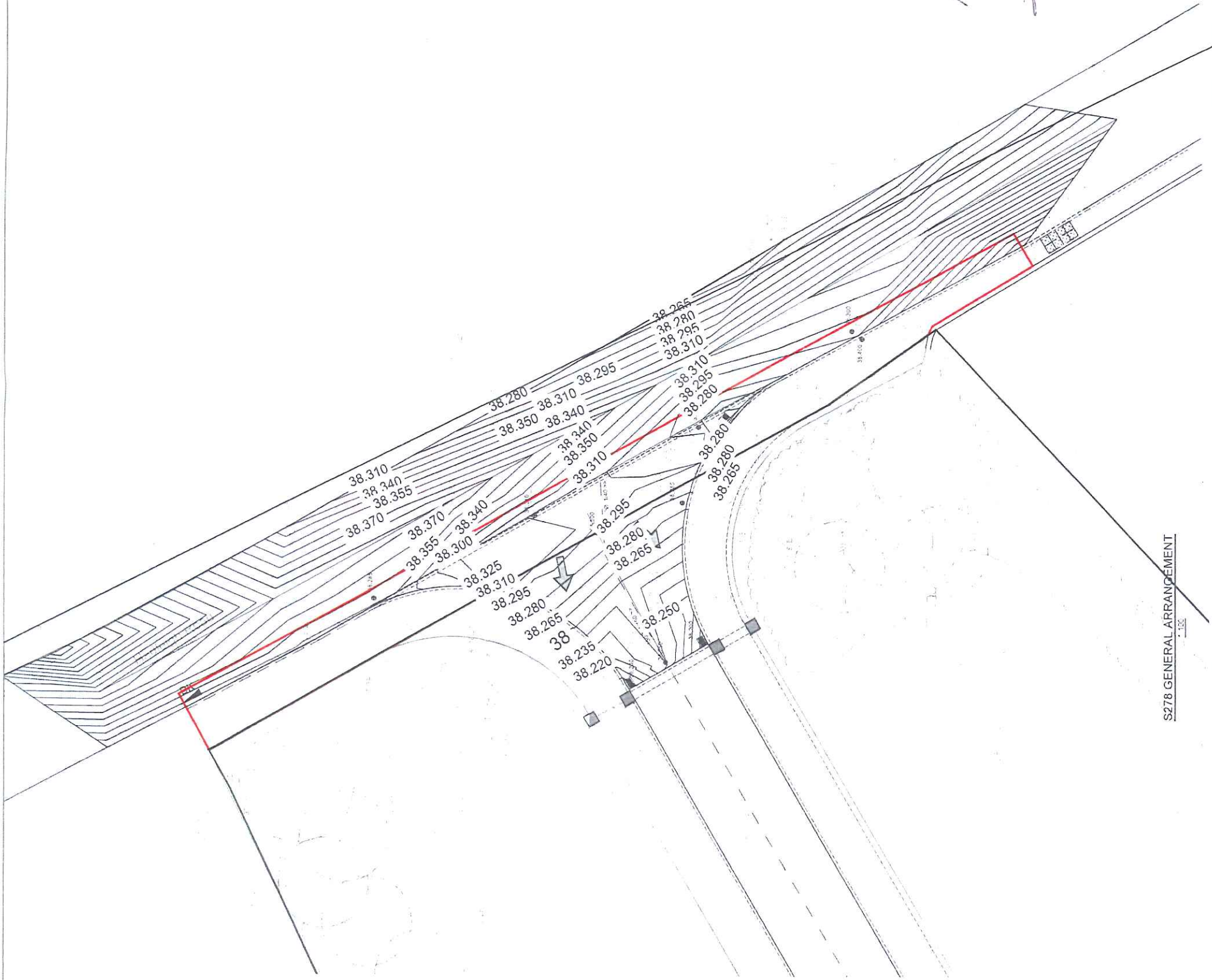
RAVIN	AUTHORISED	DATE	SCALE AT 1/
25	GNG	FEB '22	1:100

UTILITY

32 - INFORMATION

PROJECT NO.	DRAWING NO.	REV
11568	C-070	P06





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ROSS LONG CONSULTING 1077

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NO.	DESCRIPTION	DATE	BY	AUTH
001	PRELIMINARY ISSUE	17.05.22	OP	GAJ

RF Rossi Long Consulting

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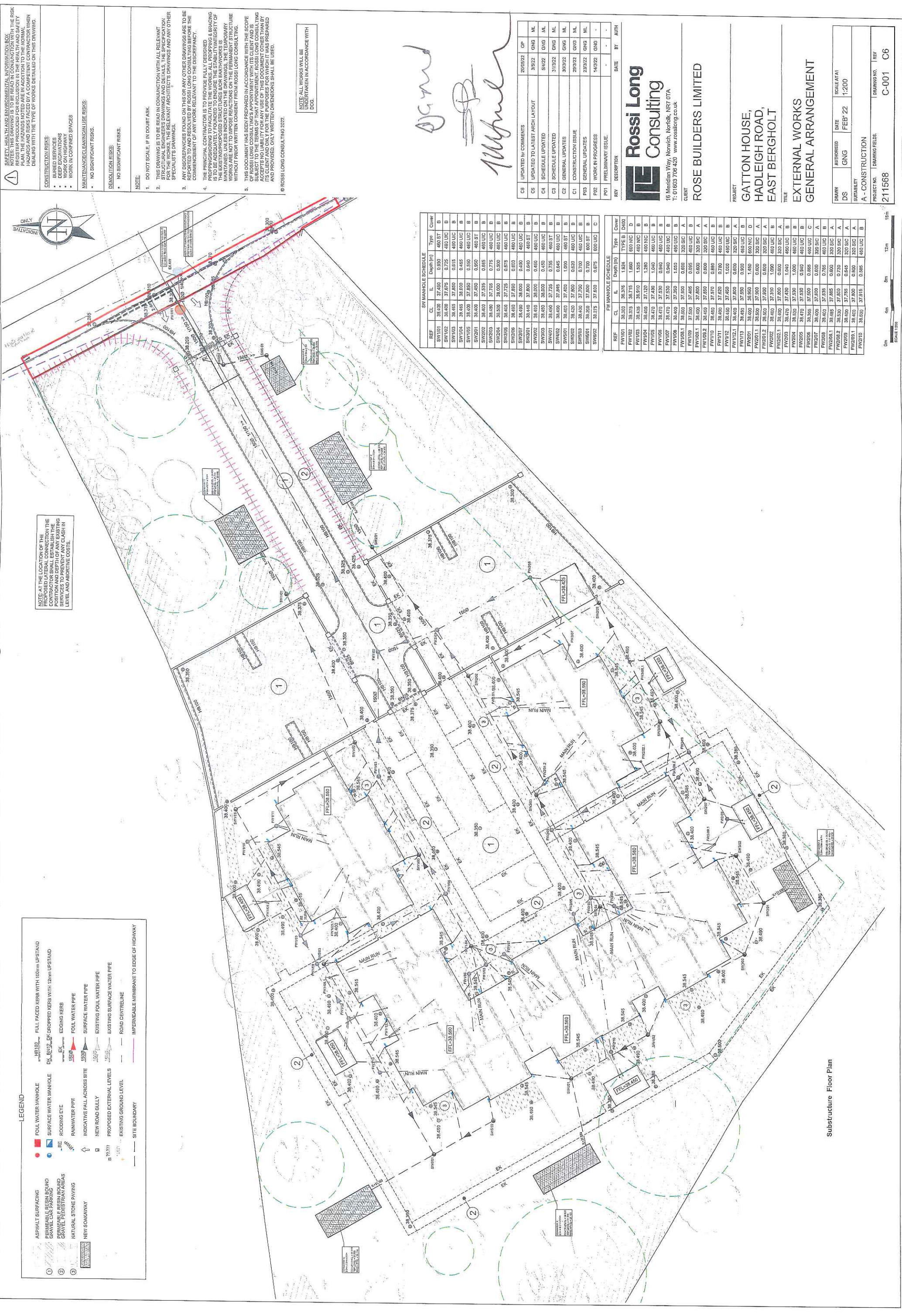
SUBJECT

ATTON HOUSE,
ADLEIGH ROAD,
AST BERTHOLT

ENTREPRENEURS PLAN

OWN S	AUTHORIZED GNG	DATE JUN '22	SCALE 1:1 REFER TO DRAWING
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278 GENERAL ARRANGEMENT



NOTE: AT THE LOCATION OF THE PROPOSED UTILITY CONNECTION THE EXISTING UTILITY SHALL BE CUT AND THE NEW UTILITY SHALL BE LAYED OUT AT THE PROPOSED POSITION AND DEPTH OF ANY CLASH IN LEVEL AND ADJUTIVE COSTS.

LEGEND	
ASPHALT SURFACING	150mm FULL FACED KERB WITH 100mm UPSTAND
PERMEABLE RESIN BOUND	150mm FULL FACED KERB WITH 100mm UPSTAND
GRAVEL CAR PARKING	150mm FULL FACED KERB WITH 100mm UPSTAND
GRAVEL PEDESTRIAN AREAS	150mm FULL FACED KERB WITH 100mm UPSTAND
NATURAL STONE PAVING	150mm FULL FACED KERB WITH 100mm UPSTAND
NEW SOAKAWAY	150mm FULL FACED KERB WITH 100mm UPSTAND
INDICATIVE FALL ACROSS SITE	150mm FULL FACED KERB WITH 100mm UPSTAND
NEW ROAD GULLY	150mm FULL FACED KERB WITH 100mm UPSTAND
EXISTING Foul WATER PIPE	150mm FULL FACED KERB WITH 100mm UPSTAND
EXISTING SURFACE WATER PIPE	150mm FULL FACED KERB WITH 100mm UPSTAND
PROPOSED EXTERNAL LEVELS	150mm FULL FACED KERB WITH 100mm UPSTAND
EXISTING GROUND LEVEL	150mm FULL FACED KERB WITH 100mm UPSTAND
ROAD CENTRELINE	150mm FULL FACED KERB WITH 100mm UPSTAND
SITE BOUNDARY	150mm FULL FACED KERB WITH 100mm UPSTAND
IMPERMEABLE MEMBRANE TO EDGE OF HIGHWAY	150mm FULL FACED KERB WITH 100mm UPSTAND



NOTE: ALL WORKS WILL BE UNDERTAKEN IN ACCORDANCE WITH DOCS.

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SW MANHOLE SCHEDULE	
REF	CL
SW101	38.400
SW102	38.400
SW103	38.400
SW104	38.400
SW105	38.400
SW106	38.400
SW107	38.400
SW108	38.400
SW109	38.400
SW110	38.400
SW111	38.400
SW112	38.400
SW113	38.400
SW114	38.400
SW115	38.400
SW116	38.400
SW117	38.400
SW118	38.400
SW119	38.400
SW120	38.400

FW MANHOLE SCHEDULE	
REF	CL
FW101	38.300
FW102	38.300
FW103	38.300
FW104	38.300
FW105	38.300
FW106	38.300
FW107	38.300
FW108	38.300
FW109	38.300
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FW114	38.300
FW115	38.300
FW116	38.300
FW117	38.300
FW118	38.300
FW119	38.300
FW120	38.300

REV	
NO	DESCRIPTION
01	PRELIMINARY ISSUE
02	WORK IN PROGRESS
03	GENERAL UPDATES
04	GENERAL UPDATES
05	GENERAL UPDATES
06	GENERAL UPDATES
07	GENERAL UPDATES
08	GENERAL UPDATES
09	GENERAL UPDATES
10	GENERAL UPDATES
11	GENERAL UPDATES
12	GENERAL UPDATES
13	GENERAL UPDATES
14	GENERAL UPDATES
15	GENERAL UPDATES
16	GENERAL UPDATES
17	GENERAL UPDATES
18	GENERAL UPDATES
19	GENERAL UPDATES
20	GENERAL UPDATES

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ROSE BUILDERS LIMITED
PROJECT
GATTON HOUSE,
HADLEIGH ROAD,
EAST BERGHOLT
EXTERNAL WORKS
GENERAL ARRANGEMENT
DRAWN: GNG
DATE: FEB 22
SCALE: A1
SUITABILITY: A - CONSTRUCTION
PROJECT NO.: 211568
DRAWING NO.: C-001
REV: C6